



Site Visit Report

Project:	Project No.:	Date:	Reviewed by:	Weather:	Report No.:
OCSCC 982 - Balcony Rehabilitation	7597.06	May 14, 2026	M.Cogliati	--	39
Total Site Visits to Date:					67

Distribution:

Company	Contact	E-mail	Notes
CMG	Miranda Lauzon	mlauzon@condogroup.ca	Property Manager
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Area of Review: Drop 13 ('17)

- Note:*
- Items below are numbered according to site visit reference number.
 - Action Items are in **bold type**.
 - New notes on old items are *added in italics*.

Buchan, Lawton, Parent Ltd completed a site visit on April 30 and May 11, 2026 to review the progress of the project. The following was noted on site:

Site Progress:

Drop 13: Scaffolding removed.

Drop 14: All work complete. Doors opened. Scaffolding tear down will begin soon and should be complete by mid next week.

Site Safety:

Jonas Building Restoration is the Constructor.

Buchan, Lawton, Parent does not have direct control over the day-to-day activities of the workers on the project site other than for the workers directly employed by Buchan, Lawton, Parent Ltd. Buchan, Lawton, Parent Ltd does not exercise direct control over the project site.

New Items:

39.1 Drop 14 ('15/'13 Units): All work is now complete. BLP conducted a final review of the balconies and noted minor deficiencies to Jonas on site. These included installing caulking around the A/C lines at the building wall, on unused holes in the brick, and at an exhaust grille, paint the fastener heads on the flashing perimeter on the soffit, clean the partition at Unit 315, and minor cleaning and paint touch-ups of one section of Hardie siding at Unit 413. All other aspects of the balcony rehabilitation were in good condition. Refer to Photos 1 to 19 from April 30 interim review and Photos 20 to 48 from the final review on May 11. Refer to Photos 49 to 54 for the minor deficiencies that the contractor will have completed at this time.

The A/C units have all been reconnected.

The scaffolding removal is requested by Jonas to the scaffolding contractor. Once the scaffolding has been removed from the ground floor and a clean up has been done, then the unit owner on the ground floor terrace can have access to their area again.

39.2 Deficiencies Repairs: Jonas will be preparing a schedule for the repairs to the balconies shortly. Repairs to the traffic topping membrane will require the removal of all personal items from the balcony again. Units 207, 209, 211, 214, 301, 309, 311, 316, and 402 should be given notices now to have their items removed from their balconies. Jonas anticipates to begin work next week, starting by flooding the balconies to identify low spots and then grind the membrane off down to bare concrete, and follow the manufacturer's recommendations for repairing the low spot in the concrete with additional membrane mixture, followed by a new base and top coat over the entire balcony. (Note to Jonas: Unit 316 requires pin hole repairs, not ponding repair). Owners will have no access to their balconies during the repairs and not be permitted onto their balcony until BLP/Jonas informs them that it is safe to do so. The membrane requires up to 24 hours to properly cure.

Jonas will be using a man lift to access all balconies to complete the ponding/traffic topping repairs, as well as the loose soffit and other deficiency repairs. Owners (other than the ones listed above) should avoid using their balcony while Jonas is working on their balcony or a balcony above.

39.3 Landscaping Clean-up and Repairs: Jonas will conduct another round of cleanup in the plant/bush beds around the ground floor terraces to remove construction debris.

Soft landscaping repairs will begin from the '15/'13 units and wrap around the west end of the building to the parking lot. After all of the deficiency repairs are complete on the south side of the building, the remaining soft landscaping will be repaired. New topsoil and grass seed will be installed.

Old Items:

13.3 Drop 2 Progress:

2 - Minor water ponding on the finished balcony surface. The minor water ponding may be a result of the lack of natural drying effects (sun, wind, etc) while enclosed in the tarps after the balconies were pressure washed. BLP will review again after the tarps are removed and after the next rain event. The few low spots may need to be repaired by adding additional liquid membrane base coat and a new topcoat over the balcony. **A report of water ponding from Unit 207 was received. BLP has requested that CMG survey the other unit owners at the '05/'07 Units so Jonas can make repairs to any units at the same time. Item 13.3-2 remains outstanding.**

35.1 Drop 12 ('19 Units): All work is now complete. BLP conducted a final review of the balconies and noted minor cosmetic deficiencies to Jonas on site. These include concrete drip marks on the north end of the 2nd floor, touching up painting on the west balcony guardrail, filling two holes in the brick on the north end of the 3rd floor, touching up the paint along the bottom of the balcony door on the 4th floor and sweep of the balcony surfaces. One moderate deficiency noted on site was a cut piece of metal through-wall flashing on the stone block masonry cladding on the north end of the 4th floor. This flashing needs to be replaced to prevent water from infiltrating behind the masonry cladding. All other aspects of the balcony rehabilitation were in good condition. **Jonas completed the minor cosmetic deficiencies. Jonas shall provide photograph of repaired flashing or provide access to BLP using a lift in the coming weeks, when Jonas returns to complete repairs on the south side balconies. Item 35.1 is outstanding.**

36.1 Drop 12 ('19 Units):

A final clean-up of the grounds in the bushes is still required. Concrete debris is still present throughout. **Item outstanding.**

Re-leveling and replacing select cracked patio pavers will be done at the end of the project with the remainder of the landscaping restoration work. **Item outstanding. Item 36.1 is outstanding.**

38.1 Drop 13 ('17 Units): All work is now complete. **Scaffolding has been removed. Item 38.1 is closed.**

37.2 Drop 14 ('15/'13 Units): Jonas has completed all of the poured concrete balcony slabs. The concrete appeared to be in good condition. The formwork was removed on the second and third floor. Membrane repairs to seal the holes from the formwork fasteners has not been installed yet. **Work complete. Refer to Item 39.1. Item 37.2 is closed.**

END OF REPORT



Photo 1: Drop 14 - April 30 - General view of the second floor balcony traffic topping, metal flashing, and masonry column cladding ongoing.



Photo 2: Blueskin TWF membrane installed at the balcony slab level through the masonry column cladding.



Photo 3: Base coat of the balcony traffic topping membrane.



Photo 4: Balcony element installation ongoing.



Photo 5: Blueskin membrane sealed the leading edge to the brick cladding.



Photo 6: Soffit re-installation complete.





Photo 8: Masonry column cladding complete.





Photo 10: Base coat of the balcony traffic topping membrane.

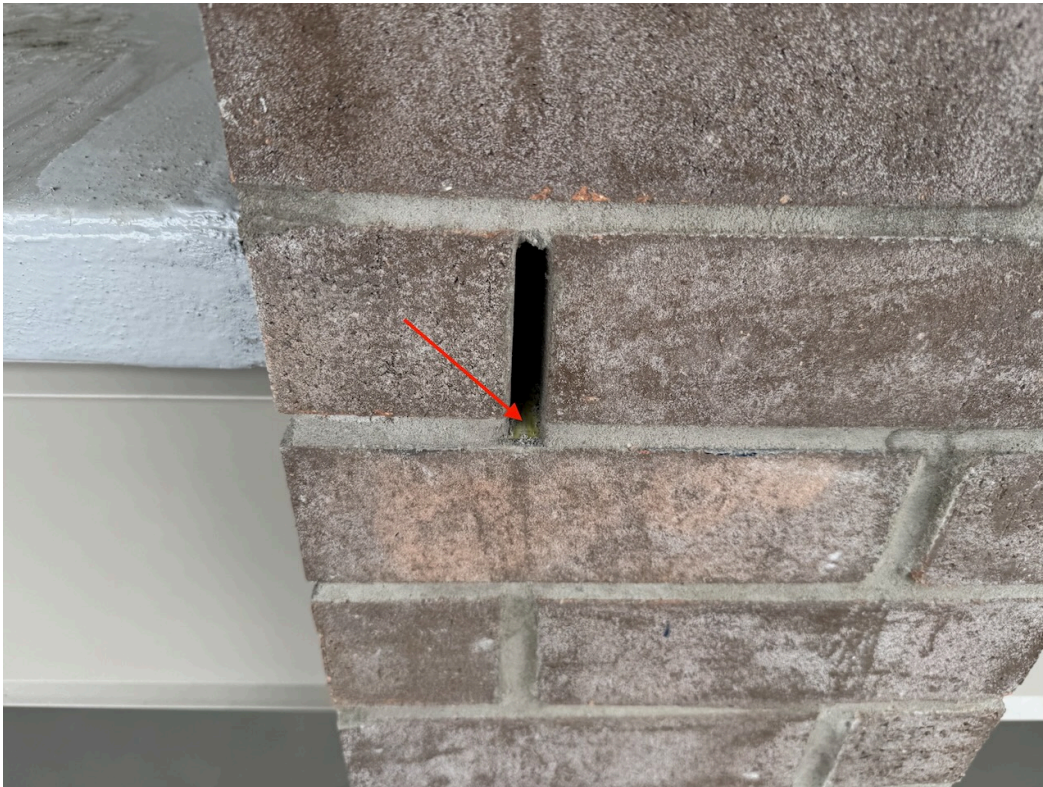


Photo 11: Blueskin TWF membrane installed at the balcony slab level through the masonry column cladding.



Photo 12: Base coat of the balcony traffic topping membrane.



Photo 13: Blueskin membrane sealed the leading edge to the brick cladding.



Photo 14: Balcony element installation ongoing.





Photo 16: Blueskin membrane and traffic topping membrane complete.



Photo 17: Blueskin membrane and traffic topping membrane complete.



Photo 18: Traffic topping base coat complete.



Photo 19: Traffic topping base coat complete.



Photo 20: Drop 14 - May 11 - General view of the completed drop.



Photo 21: Soffits, flashing, and lights complete. These lights were replaced with new, as close as possible match to the original.





Photo 23: Masonry column cladding, flashing, caulking, and balcony traffic topping membrane complete. Guardrails re-installed.



Photo 24: Masonry column cladding, flashing, caulking, and balcony traffic topping membrane complete. Guardrails re-installed.



Photo 25: Close-up of the completed caulking.

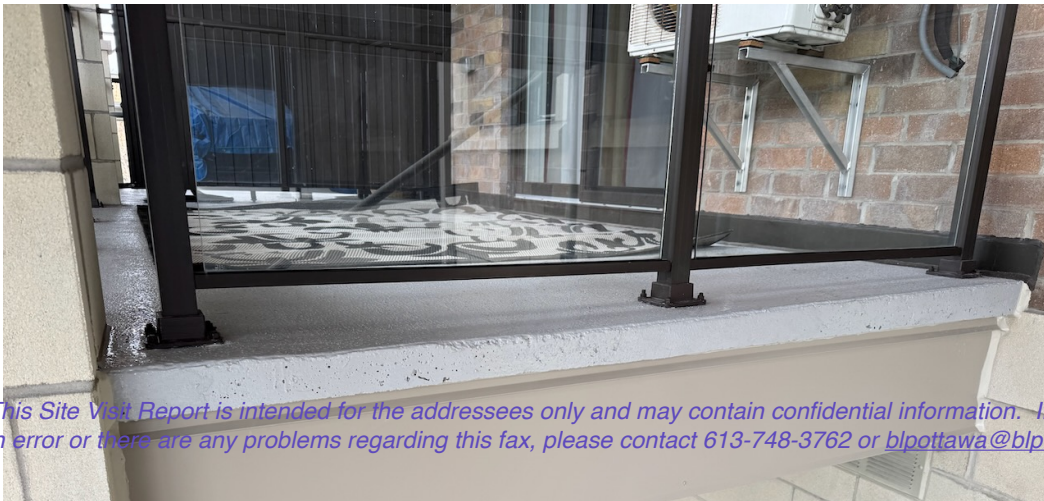




Photo 27: Guardrails re-installed.



Photo 28: Flashing, caulking, and balcony traffic topping membrane complete. Guardrails re-installed.



Photo 29: Base wall flashing and caulking complete. A/C unit re-installed.

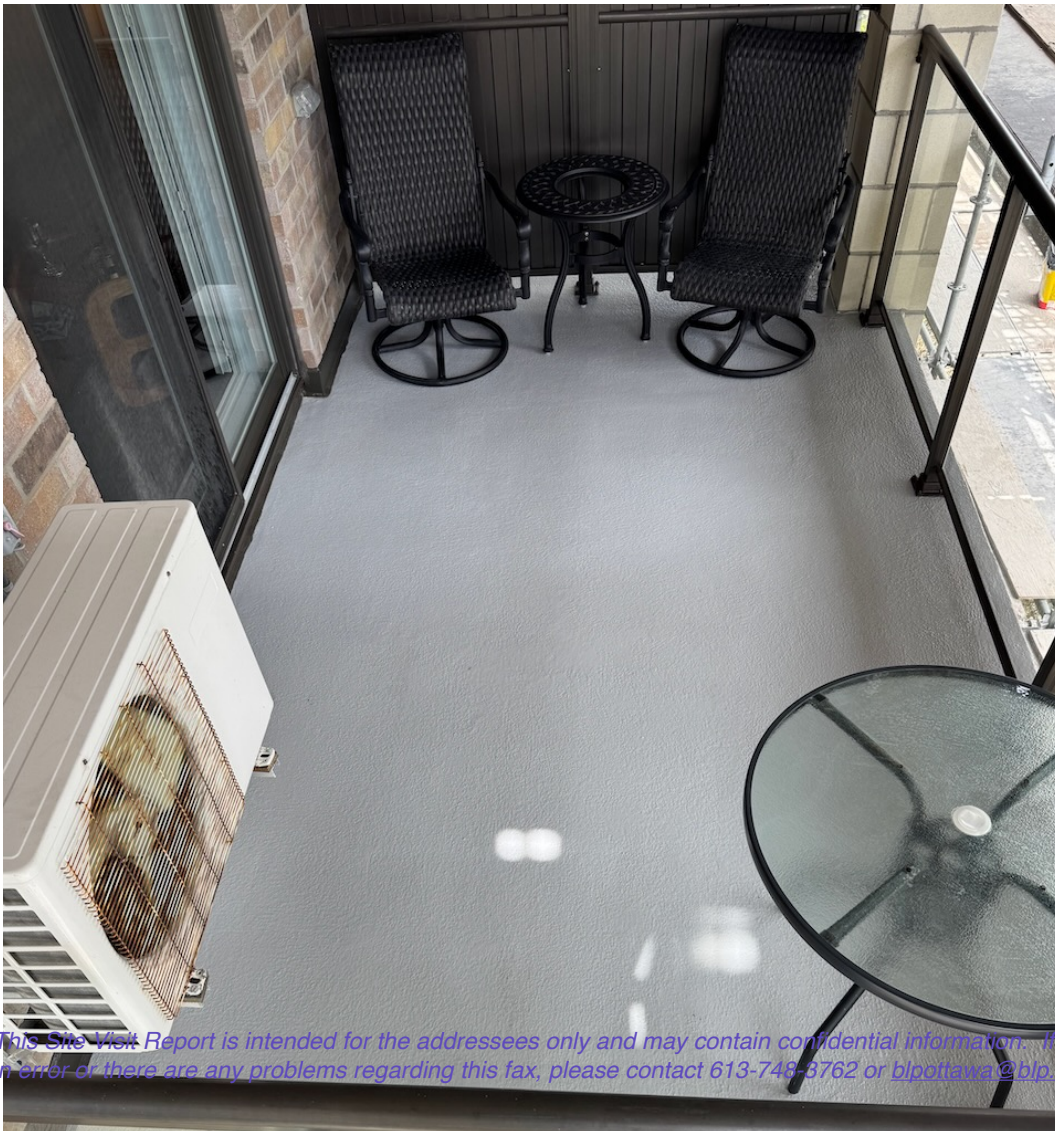




Photo 31: Soffit and light fixtures re-installed.



Photo 32: Flashing, caulking, and balcony traffic topping membrane complete. Guardrails re-installed.



Photo 33: Masonry column cladding, flashing, caulking, and balcony traffic topping membrane complete. Guardrails re-installed.



Photo 34: Masonry column cladding, flashing, caulking, and balcony traffic topping membrane complete. Guardrails re-installed.



Photo 35: Masonry column cladding, flashing, caulking, and balcony traffic topping membrane complete. Guardrails re-installed.

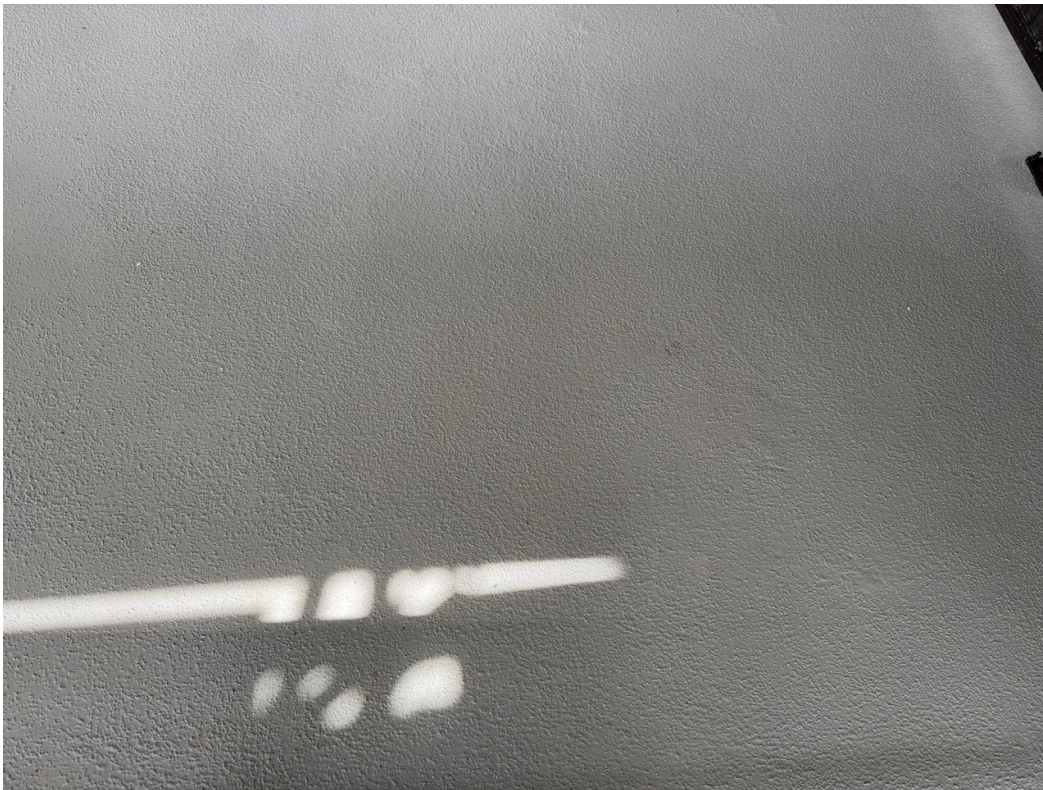


Photo 36: Complete traffic topping membrane.



Photo 37: Complete base wall flashing and caulking complete.



Photo 38: Complete base wall flashing and caulking complete.



Photo 39: Traffic topping membrane complete.

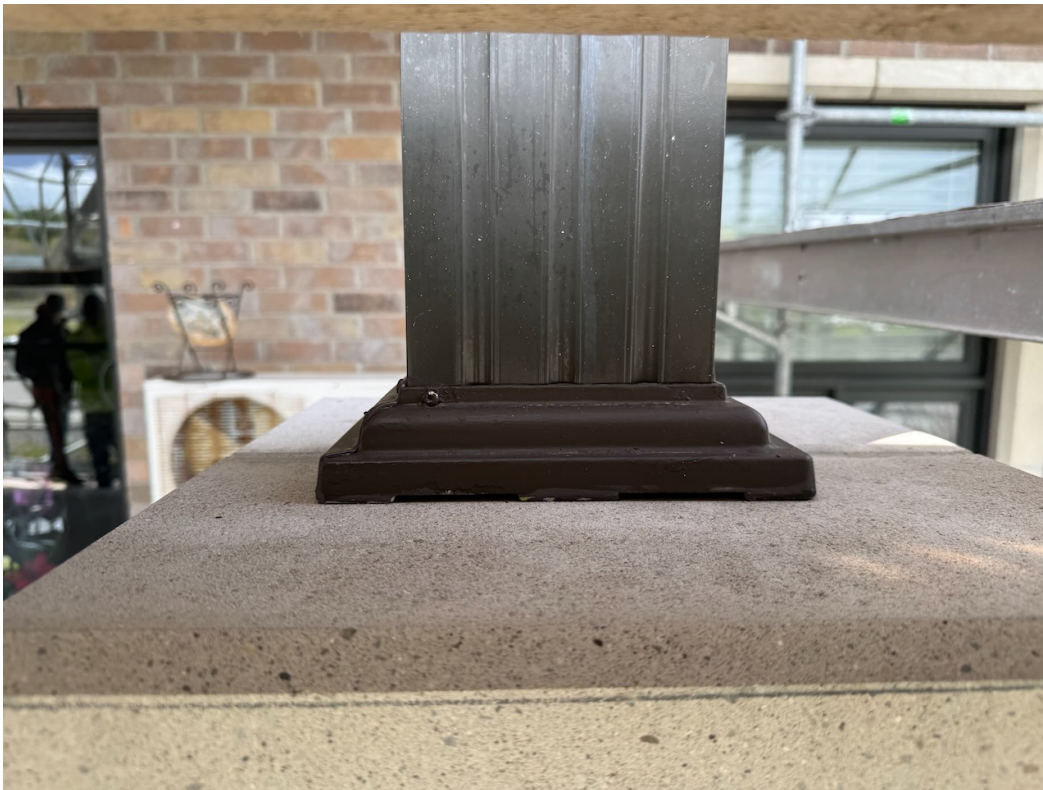


Photo 40: Aluminum columns cladding re-installed.



Photo 41: Masonry column cladding, flashing, caulking, and balcony traffic topping membrane complete. Guardrails re-installed.



Photo 42: Aluminum column cladding, flashing, caulking, and balcony traffic topping membrane complete. Guardrails re-installed.



Photo 43: Aluminum column cladding, flashing, caulking, and balcony traffic topping membrane complete. Guardrails re-installed.



Photo 44: Aluminum column cladding, flashing, caulking, and balcony traffic topping membrane complete. Guardrails re-installed.



Photo 45: Aluminum column cladding, flashing, caulking, and balcony traffic topping membrane complete. Guardrails re-installed.



Photo 46: Aluminum column cladding, flashing, caulking, and balcony traffic topping membrane complete. Guardrails re-installed.



Photo 47: Caulking and flashing complete at the base wall around the patio door.



Photo 48: Caulking repairs required.



Photo 49: Caulking repairs required.

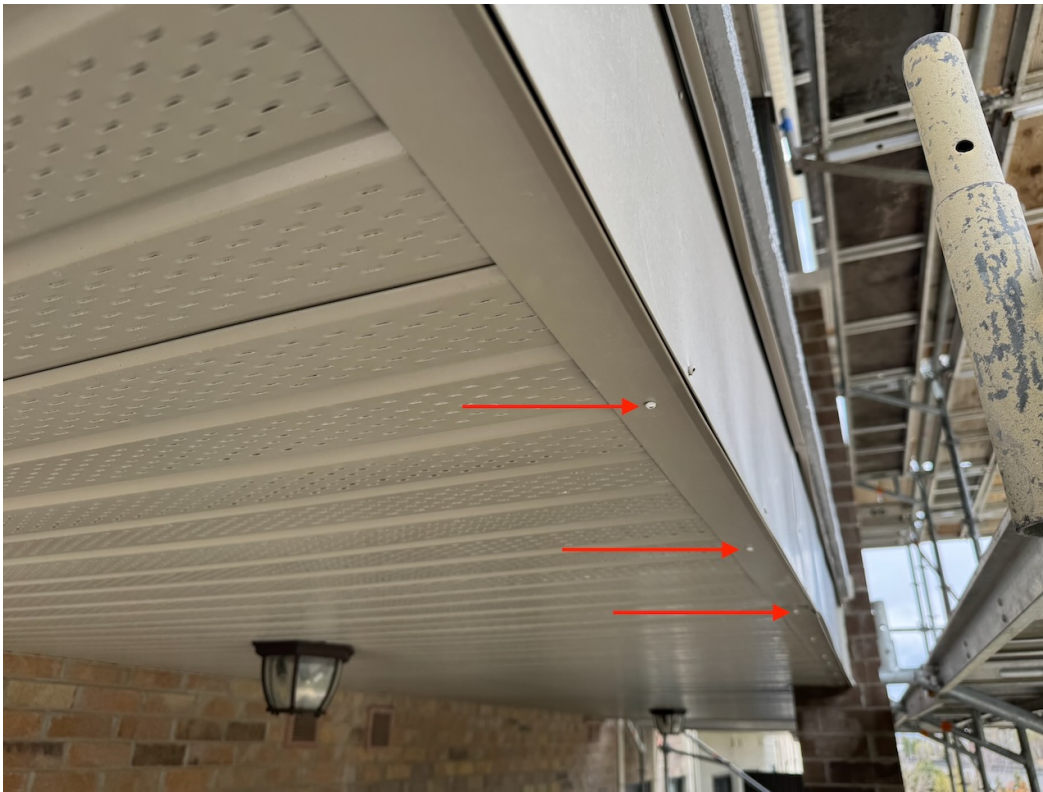


Photo 50: Paint touch-ups required.



Photo 51: Caulking repairs required.



Photo 52: Clean partition.



Photo 53: Clean and paint touch-ups required.